



16 Poores Road, Durrington, Salisbury, SP4 8HF

Jordan &  
Mason

16 Poores Road, Durrington, Salisbury, SP4 8HF

£240,000 Freehold

### Brief Property Description

The property comprises a well appointed two bedroom semi-detached house which has a rear conservatory extension. The property benefits from a modern fitted kitchen, modern fitted bathroom, gas central heating and PVCu double glazing. Parking is available to the front and at the rear there is a courtyard garden.

### The Location and nearby Facilities

The property is situated in the centre of the large village of Durrington which lies approximately 3 miles to the north of Amesbury and near to the world Heritage site of Stonehenge. Durrington itself has quite a remarkable level of local amenity with a choice of three well-known general stores, a choice of public houses, cafes, restaurants and takeaway outlets. A petrol station, swimming pool, leisure centre, library, veterinary surgeons and public transport are also available. Durrington also has a choice of schooling from preschool through to secondary.



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EPC

C





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**Directional note:**

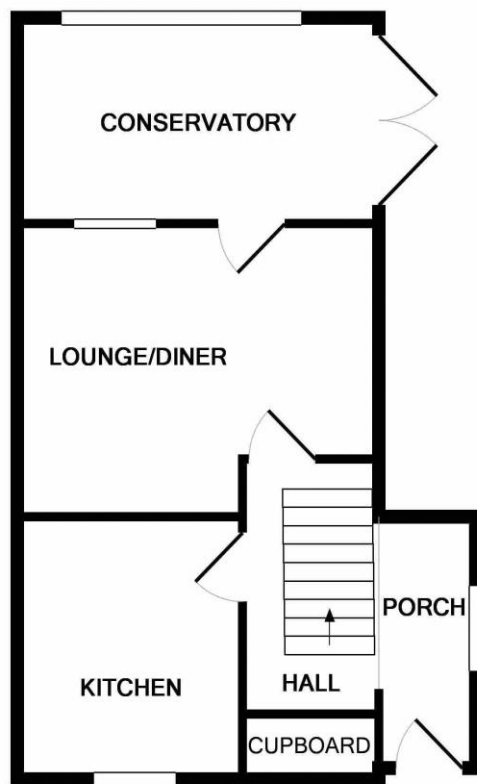
Leave Amesbury via Countess Road and continue to the Stonehenge roundabout. Take third exit into Lark Hill Road and continue all the way along Larkhill Road to the petrol station. At this roundabout turn left into Bulford Road and continue along Bulford Road. Turn left into Poores Road and our property can be found upon the left-hand side.

**Council Tax Band:** C

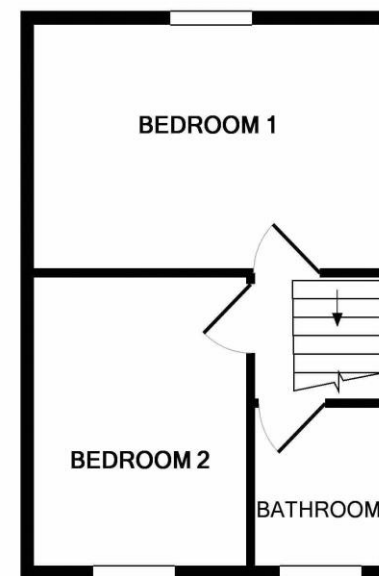
**Property reference:** 00003424

**Viewings:**

By Appointment only with Jordan & Mason 01722 441 999



GROUND FLOOR



1ST FLOOR

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**Here to help....**

Local agent: James Jordan  
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**Jordan & Mason**

Fixtures and fittings: a list of fitted carpets, curtains, light fittings and other items fixed to the property which are included in the sale (or maybe available by separate negotiation) will be provided by the seller's solicitors. Important notice: 1. Particulars: these particulars are not an offer or contract, nor part of one. You should not rely on statements by Jordan, Mason and Associates Ltd. in the particulars or by word-of-mouth or in writing ("information") as being factually accurate about the property, its condition or its value. Neither Jordan, Mason and Associates Ltd. nor any joint agent has any authority to make any representations about the property, and accordingly any information given is entirely without responsibility on the part of the agents, seller(s) or lessor(s). 2. Photos, videos etc: the photographs, property videos and virtual tours etc. show only certain parts of the property as they appeared at the time they were taken. Areas, measurements, and distances given are approximate only. 3. Regulations etc. any reference to alterations to, or use of, any part of the property does not mean that any necessary planning, building regulations or other consent has been obtained. A buyer or lessee must find out by inspection or in other ways that these matters have been properly dealt with and that all information is correct. Jordan and Mason is a trading name of Jordan, Mason and Associates Ltd. which is a registered company in England and Wales with registration number **08708615**. Our registered office is 4 St Thomas's Square, Salisbury, Wilts SP1 1BA.(01722 441 999)